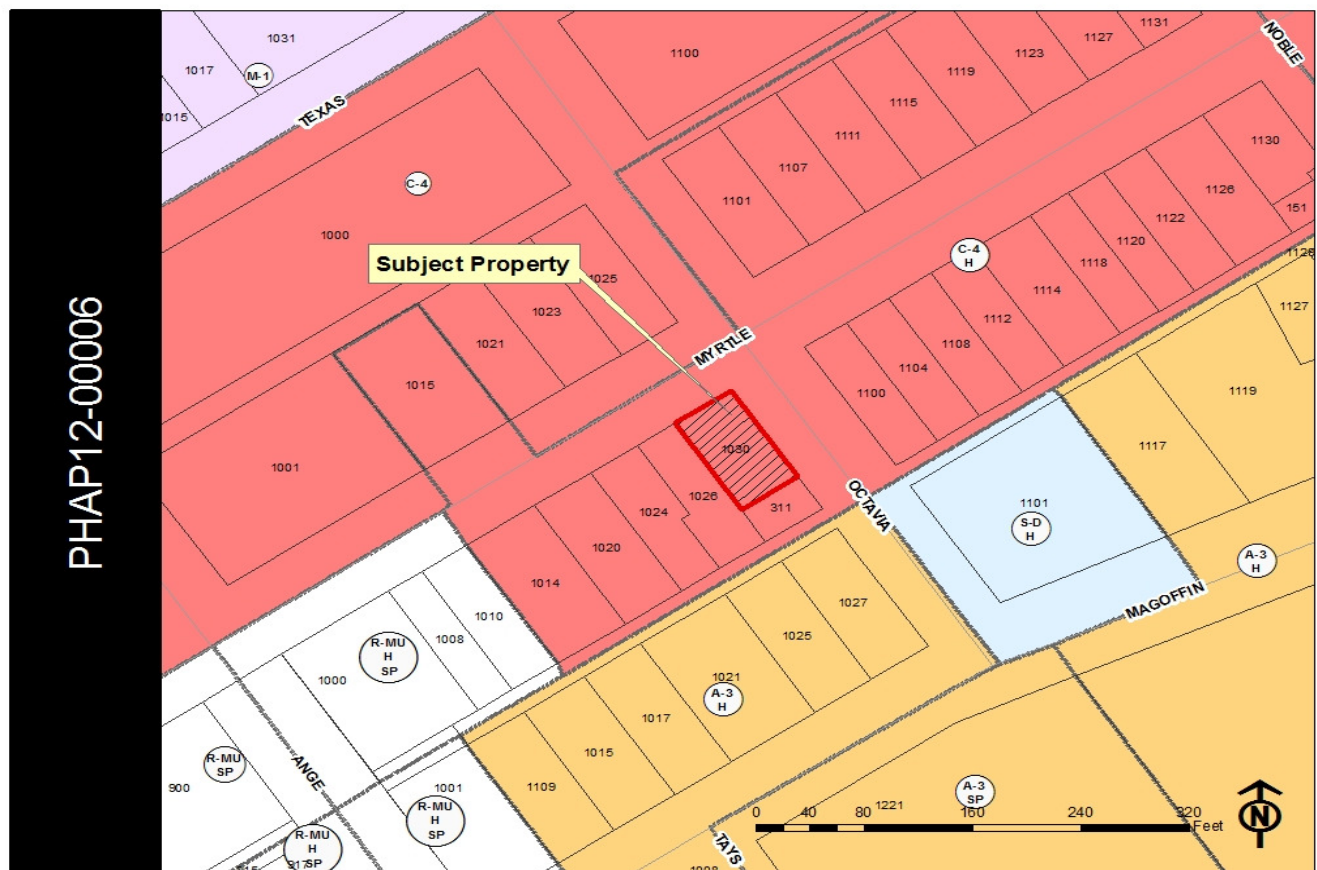




PHAP12-00006

Date: April 9, 2012
Application Type: Certificate of Appropriateness
Property Owner: City Of El Paso
Representative: Samuel Rodriguez, Engineering and Construction Management Dept.
Legal Description: Block 1 of Franklin Heights Addition N 87.5 Feet of Lots 15 & 16, City of El Paso, El Paso County, Texas.
Historic District: Magoffin
Location: 1030 Myrtle
Representative District: #8
Existing Zoning: C-4/H (Commercial/Historic)
Year Built: N/A
Historic Status: Non-Contributing
Request: Certificate of appropriateness for the construction of a pocket park to include landscaping, lighting, playground equipment, paving, a gazebo, signage, and fencing.
Application Filed: 3/27/2012
45 Day Expiration: 5/11/2012

ITEM #1



GENERAL INFORMATION:

The applicant seeks approval for:

The construction of a pocket park to include landscaping, lighting, playground equipment, paving, a gazebo, signage, and fencing.

STAFF RECOMMENDATION:

The Historic Preservation Office recommends APPROVAL of the proposed scope of work based on the following recommendations:

The Magoffin Historic District Design Guidelines recommend the following:

- Sidewalks made of brick or stone pavers can contribute to the overall enhancement of an area.
- Construction of new fencing should be of compatible materials. Brick, stone, and wrought iron are generally acceptable materials.
- It is recommended to try and find a replica of a late nineteenth or early twentieth century period style light fixture.
- When new landscaping is planned, it should be designed to complement the streetscape.

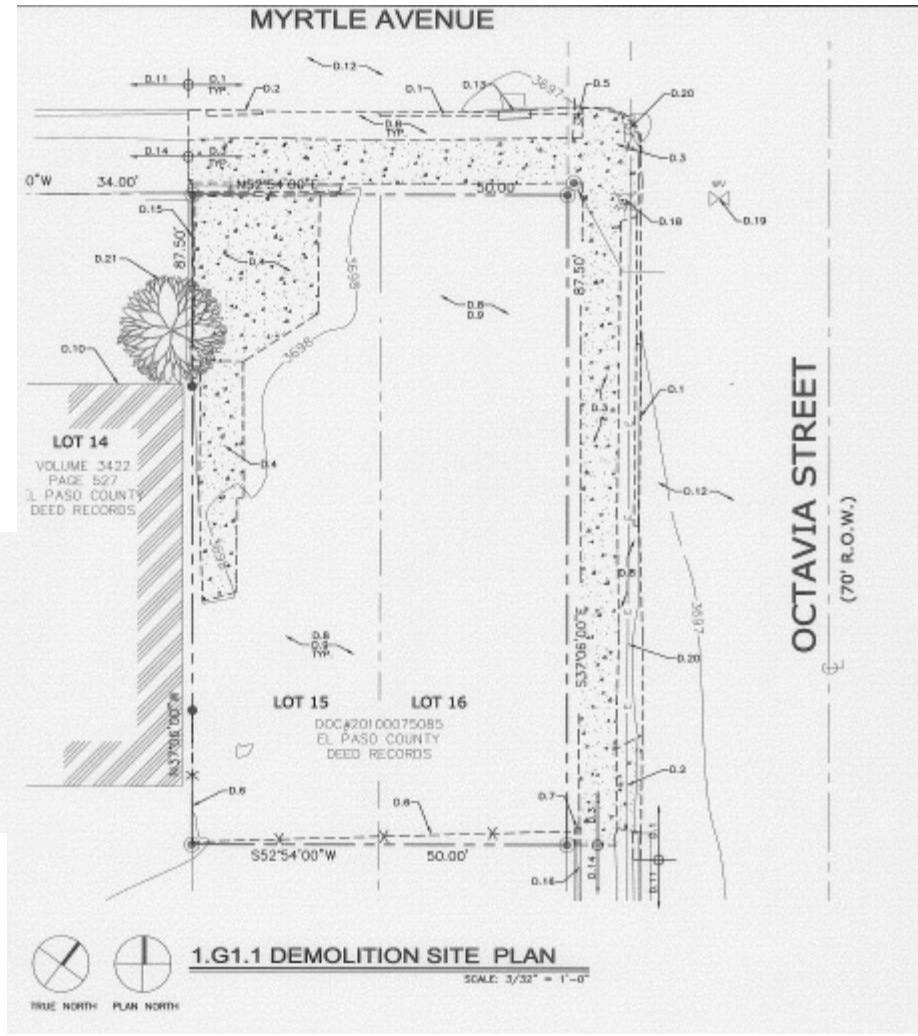
The Secretary of the Interior's Standards for Rehabilitation recommend the following:

- *Retaining the historic relationship between buildings and the landscape.*

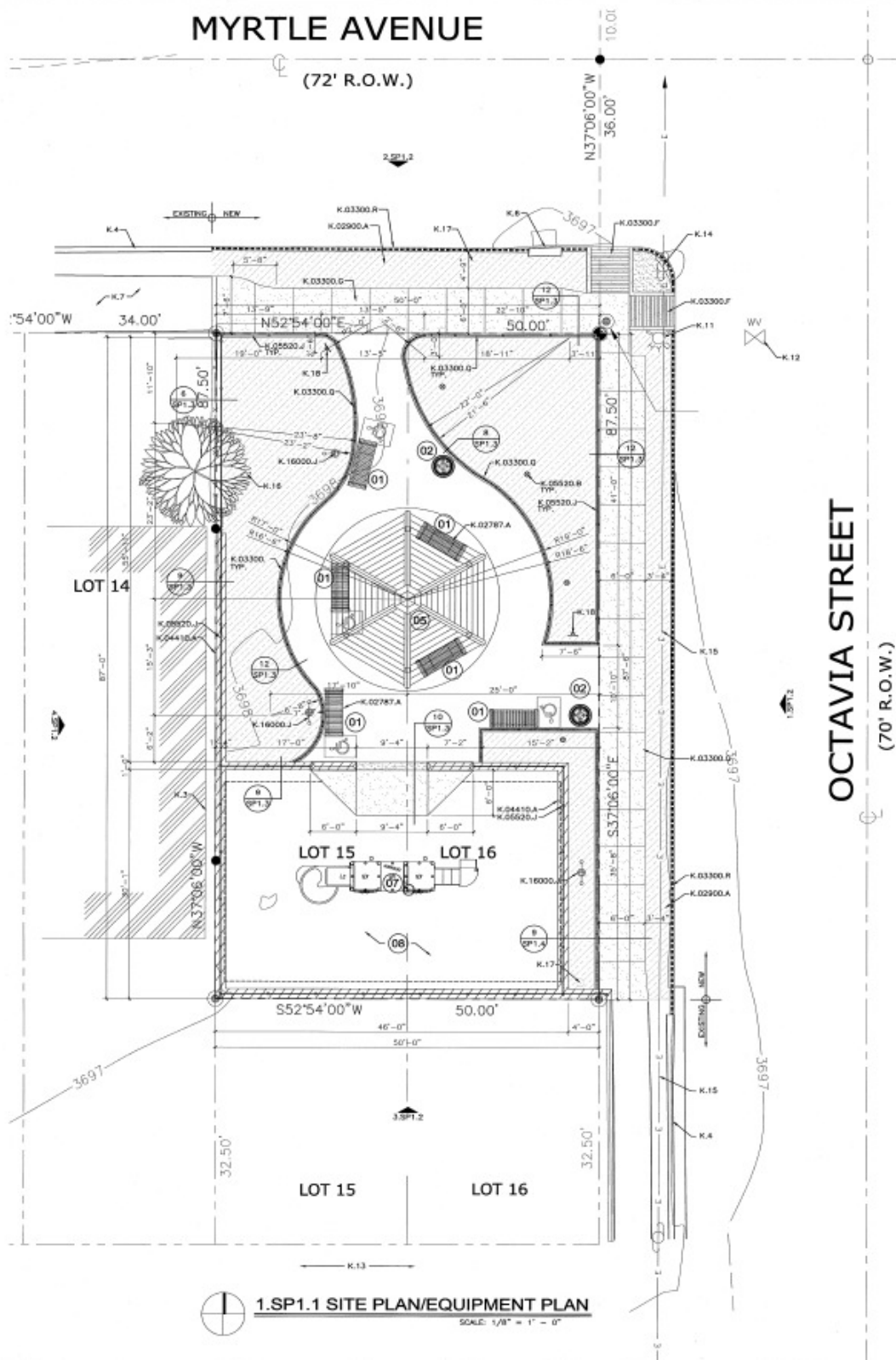
AERIAL MAP

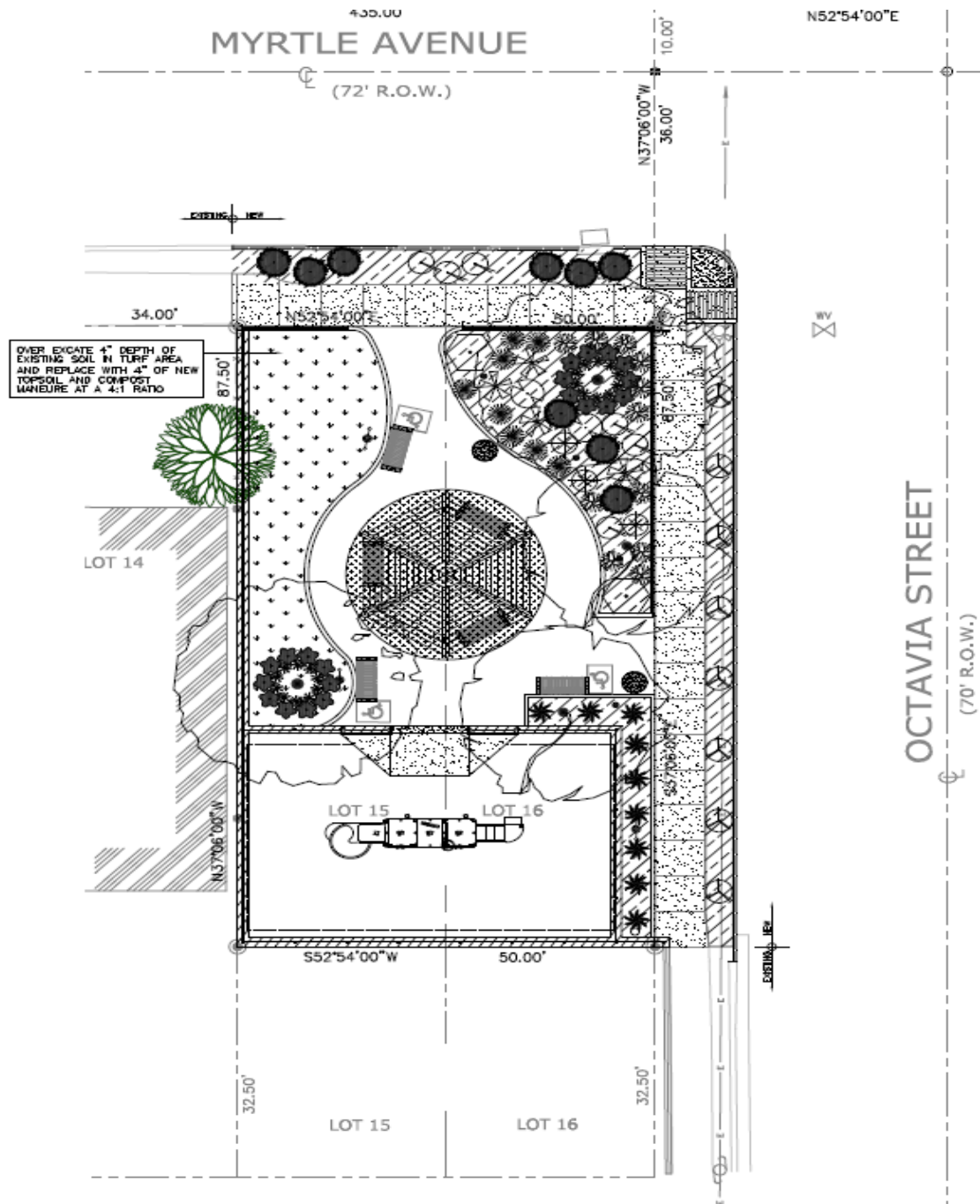
PHAP12-00006



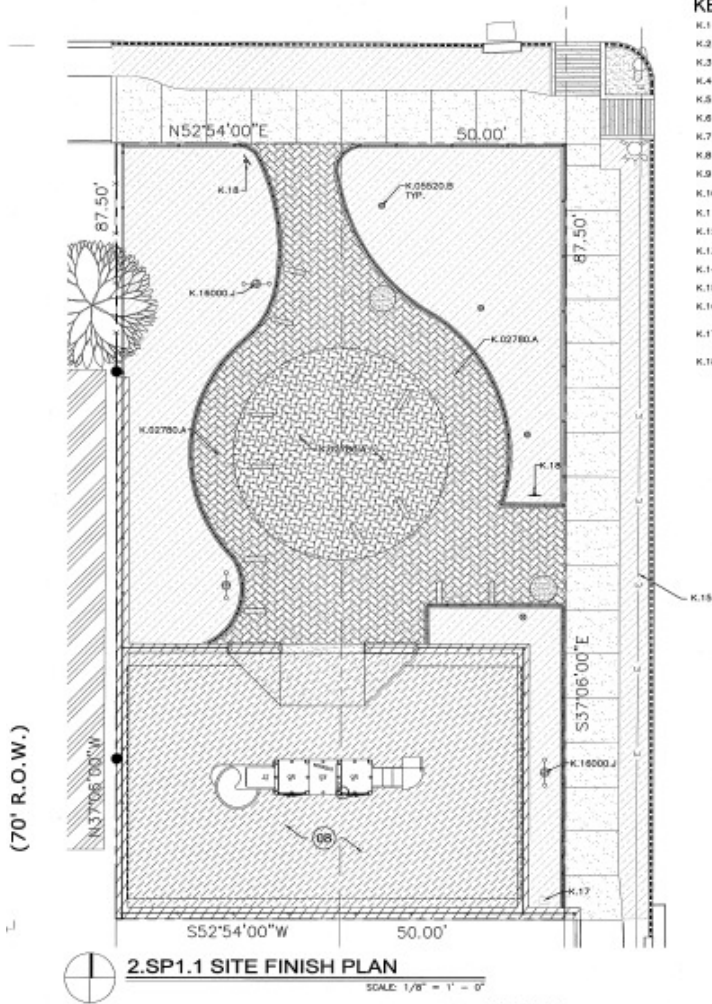


(72' R.O.W.)





SITE FINISH PLAN



2.SP1.1 SITE FINISH PLAN

SCALE: 1/8" = 1' = 0"

- BRICK PAVERS: TYPE 1
- BRICK PAVERS: TYPE 2
- 12" ENGINEERED WOOD FIBER CHIPS

KEYED NOTES

- K.1 PROPERTY LINE
- K.2 PROPERTY SET BACK
- K.3 EXISTING BUILDING
- K.4 EXISTING CURB AND GUTTER
- K.5 EXISTING ASPHALT PAVING
- K.6 EXISTING DRAIN
- K.7 EXISTING SIDEWALK
- K.8 EXISTING RAMP
- K.9 EXISTING NATURAL GROUND
- K.10 EXISTING FENCE AND/OR ROCKWALL
- K.11 EXISTING FIRE HYDRANT - HYD #1740
- K.12 EXISTING WATER VALVE
- K.13 EXISTING PLATTED 18' ALLEY
- K.14 EXISTING POWER POLE
- K.15 EXISTING OVERHEAD ELECTRICAL LINE
- K.16 EXISTING TREE, TRIM BOTTOM TREE OVERHANG, COORDINATE WITH OWNER AND LANDSCAPING
- K.17 FUTURE LIGHT POLE & METER, PROVIDED BY OWNER
- K.18 PARK RULES SIGN BY OWNER

DRAWING KEYNOTES SYSTEM MATERIAL KEYNOTES LEGEND

- DIVISION 2 - SITE**
 - K.02780.A CLAY PAVERS
 - K.02787.A METAL BENCH
 - K.02870.A TRASH RECEPTACLE
- DIVISION 3 - CONCRETE**
 - K.03301.E CONCRETE CAP
 - K.03300.F CONCRETE RAMP
 - K.03300.G CONCRETE WALK, 6" THICK, REINFORCE WITH 6X6 10/10 W.B.F.
 - K.03300.Q CONCRETE CURB
 - K.03300.R CONCRETE CURB AND GUTTER
 - K.03300.U CONCRETE PAD, 6" THICK REINFORCED WITH #4 AT 12" O.C.E.W.
 - K.03301.E CONCRETE CAP
- DIVISION 4 - MASONRY**
 - K.04410.C BRICK STONE MASONRY
- DIVISION 5 - METALS**
 - K.05520.B STEEL PIPE BOLLARD W/LIGHT FIXTURE
 - K.05520.J WROUGHT IRON FENCE
- DIVISION 10 - SPECIALTIES**
 - K.10400.A PLAQUE
- DIVISION 18 - ELECTRICAL**
 - K.18000.J LIGHT POLE

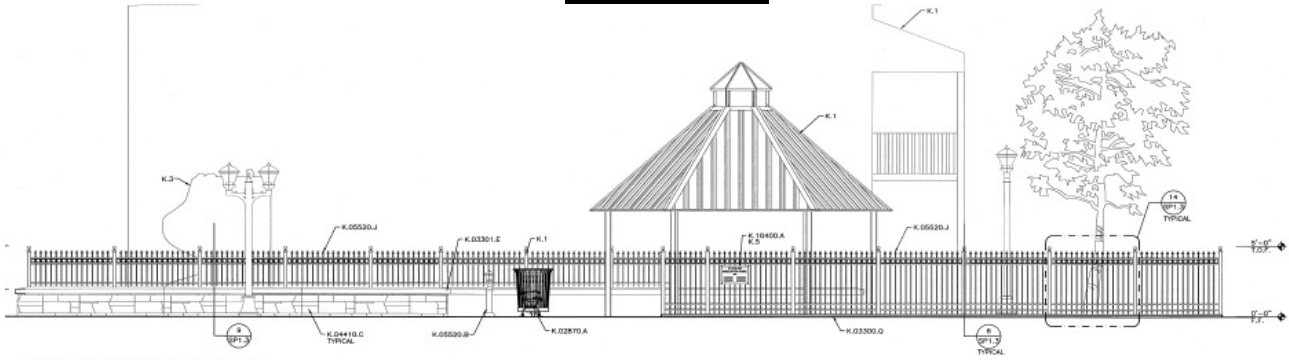
LEGEND

- LAYOUT POINT
- EXISTING CONCRETE CURB AND GUTTER
- CONCRETE CURB & GUTTER
- CONCRETE STANDUP CURB
- ROCKWALL
- CONCRETE
- LANDSCAPING
- BENCH W/ HC SPACE
- TRASH RECEPTACLE
- ANTIQUE LIGHT POLE
- ANTIQUE LIGHT BOLLARDS

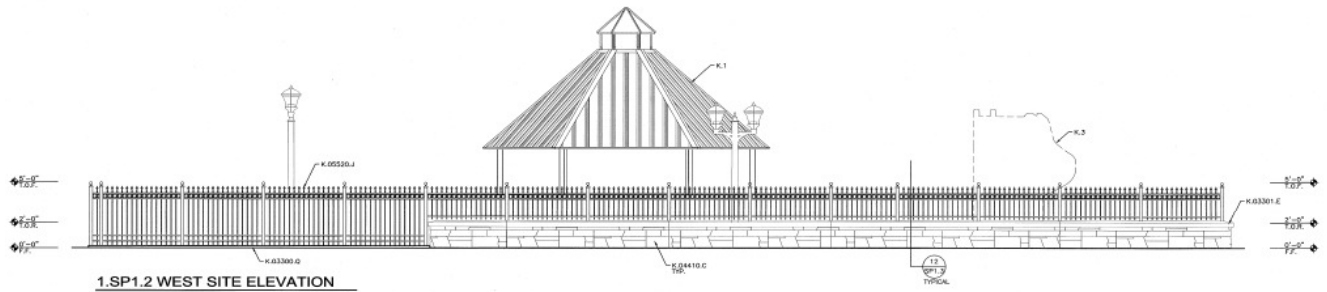
NOTE:

THE PLAYGROUND EQUIPMENT WILL BE PROVIDED BY THE OWNER AND INSTALLED BY THE OWNER.

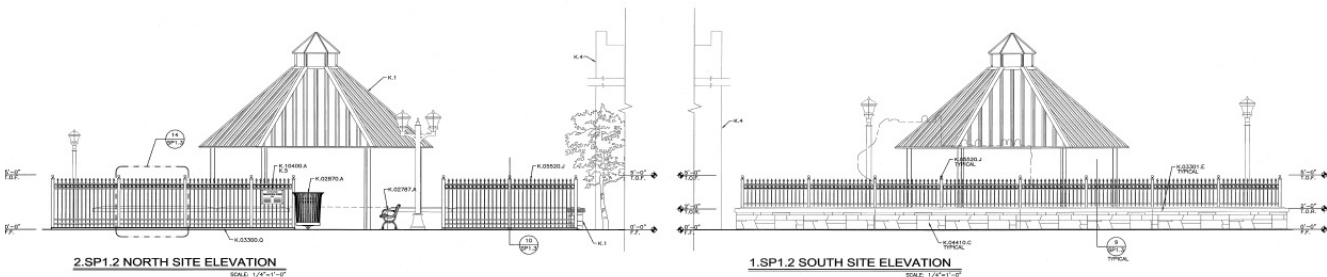
ELEVATIONS



1.SP1.2 EAST SITE ELEVATION
SCALE: 1/4"=1'-0"



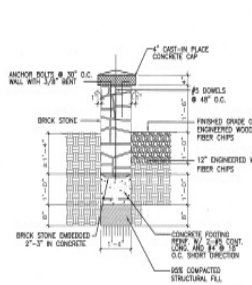
1.SP1.2 WEST SITE ELEVATION
SCALE: 1/4"=1'-0"



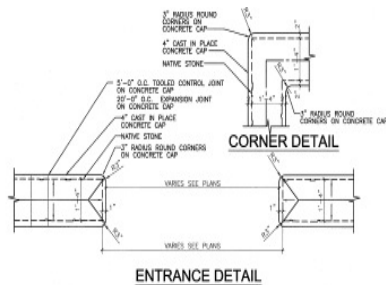
2.SP1.2 NORTH SITE ELEVATION
SCALE: 1/4"=1'-0"

1.SP1.2 SOUTH SITE ELEVATION
SCALE: 1/4"=1'-0"

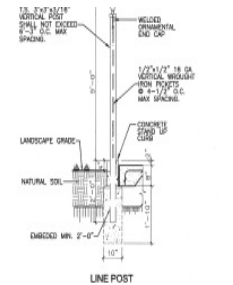
FENCING DETAILS



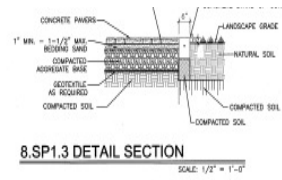
4.SP1.3 PLAY GROUND SECTION
SCALE: 1/2" = 1'-0"



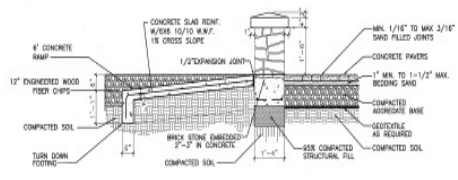
5.SP1.3 PLAY GROUND DETAILS
TYPICAL AT ROOFWALL PLAY AREA
SCALE: 1/2" = 1'-0"



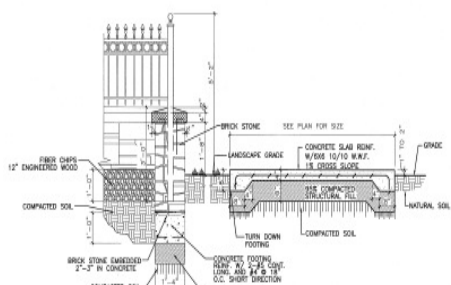
6.SP1.3 FENCE POST SECTION
SCALE: 1/2" = 1'-0"



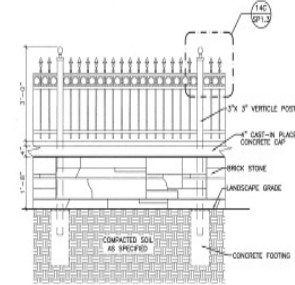
8.SP1.3 DETAIL SECTION
SCALE: 1/2" = 1'-0"



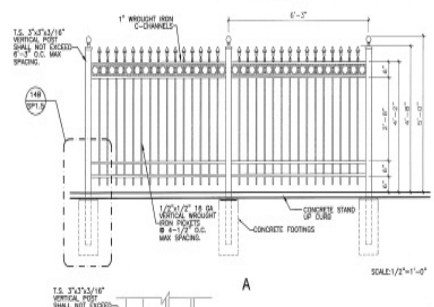
10.SP1.3 DETAIL SECTION
SCALE: 1/2" = 1'-0"



9.SP1.3 DETAIL SECTION
SCALE: 1/2" = 1'-0"

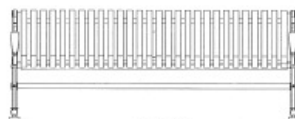


11.SP1.3 FENCE ELEVATION
SCALE: 1/2" = 1'-0"



10.SP1.3 DETAIL SECTION
SCALE: 1/2" = 1'-0"

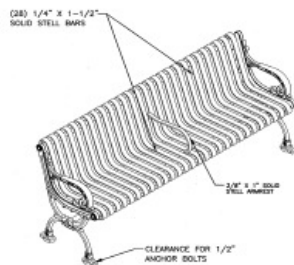
FURNITURE



LONGITUDINAL SPACING
2' 6" BENCH
2' 6" BENCH

A. DETAIL

B. DETAIL

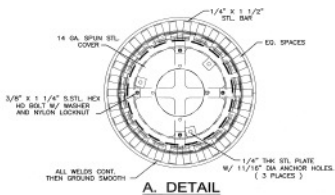
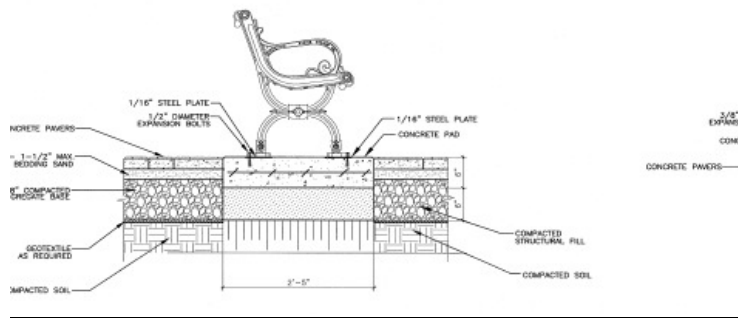


NOTE:
ALL HARDWARE SET TO BE WITH J-B WELD AFTER 1

NOTES:
1.3 ALL STEEL MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POWDER COATING.
2.3 1/2" X 3-3/4" EXPANSION ANCHOR BOLTS PROVIDED FOR S-2

1.SP1.5 BENCH DETAILS

SCALE: 3/4" = 1'-0"

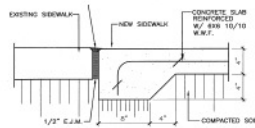
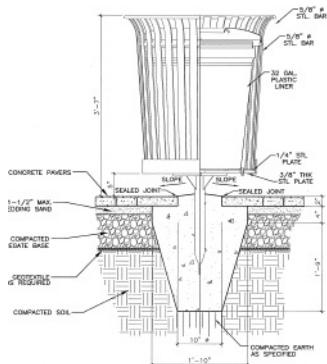


A. DETAIL



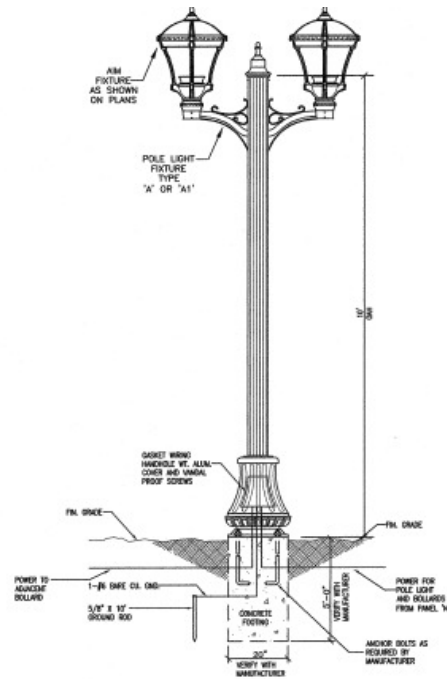
3.SP1.5 TRASH CAN ISOMETRIC

SCALE: NTS



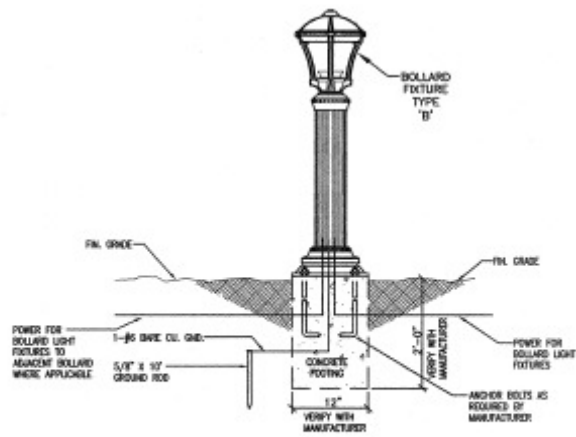
4.SP1.5 CONCRETE SIDEWALK

SCALE: 1-1/2" = 1'-0"



POLE MOUNTING DETAIL FOR
POLE TYPE 'A' AND 'A1'

3
E2.0



MOUNTING DETAIL
BOLLARD TYPE 'B'

4
E2.0